

DATE OF MEETING | August 29, 2022 |

AUTHORED BY | CALEB HORN, PLANNER, CURRENT PLANNING |

SUBJECT | **DEVELOPMENT PERMIT APPLICATION NO. DP1248
– 6985 ISLAND HIGHWAY NORTH** |

OVERVIEW

Purpose of Report

To present for Council’s consideration a development permit application for a multi-family rental development at 6985 Island Highway North. |

Recommendation

That Council issue Development Permit No. DP1248 for a multi-family residential development at 6985 Island Highway North with variances to:

1. reduce the minimum required front yard setback from the Nanaimo Parkway from 20.0m to 7.5m; and,
2. increase the maximum permitted building height from 14.0m to 17.7m. |

BACKGROUND

A development permit application, DP1248, was received from District Developments Corp., on behalf of North Grove Nominee Ltd., to permit a multi-family rental development at 6985 Island Highway North consisting of two 5-storey buildings with a combined total of 149 dwelling units. This application is the second phase of a residential development; the first phase consists of three 4-storey buildings with a combined total of 146 dwelling units at 6975 Island Highway North that were completed in 2020 (DP1083).

Subject Property and Site Context

<i>Zoning</i>	Woodgrove Urban Centre (CC4)
<i>Location</i>	The subject property is bounded by the Nanaimo Parkway to the southwest, the City of Nanaimo municipal boundary to the northwest (shared with the District of Lantzville), and Island Highway North to the northeast.
<i>Total Area</i>	1.17ha
<i>City Plan</i>	Schedule 2 – Future Land Use Designations – Woodgrove Secondary Urban Centre Schedule 12 – Development Permit Area No. 7 – Nanaimo Parkway Design Schedule 13 – Development Permit Area No. 8 – Form and Character
<i>Relevant Design Guidelines</i>	General Development Permit Area Design Guidelines Nanaimo Parkway Design Guidelines

The subject property is located at the northern gateway of Nanaimo within the Woodgrove Secondary Urban Centre and the Dover Neighbourhood. The lot is presently vacant and is located immediately adjacent to the Phase 1 at 6975 Island Highway. Surrounding land uses

include commercial shopping plazas to the north and east, and vacant land across the Nanaimo Parkway to the southwest. Both abutting highways are under the jurisdiction of the Ministry of Transportation and Infrastructure. An existing amenity area on the lot was constructed as part of the Phase 1.

DISCUSSION

Proposed Development

The applicant proposes to construct two 5-storey rental apartment buildings with a combined total of 149 dwelling units and a unit composition as follows:

Unit Type	Number of Units
Studio	13
One-Bedroom	89
Two-Bedroom	47

The proposed total gross floor area is 11,665m² and the total Floor Area Ratio (FAR) will equal 0.99, below the maximum permitted FAR of 1.25 in the CC4 zone.

Site Design

The proposed buildings are oriented to maximize street presence and to maximize south-facing solar gain. Building A, is aligned parallel to the north property line, adjacent to the Island Highway, and Building B is aligned parallel to the southwest property line adjacent to the Nanaimo Parkway. Vehicle access is from an internal drive aisle that is shared between Phases 1 and 2, and is accessed from the Island Highway. Surface parking areas are located between Buildings A and B, and on the north and south sides of Building B. Underground parking is provided beneath both buildings, with access from the northwest corner of the site. A total of 164 parking spaces are provided (147 parking spaces are required), of which 78 of the spaces will be underground. All required bicycle parking will be provided onsite.

The primary building entrances face the internal parking area and a network of pedestrian walkways will create a loop in the eastern portion of the site between the parking areas and the building entrances and outdoor amenity spaces. A central, shared greenspace is located at the southeast corner of Building B, which was designed as part of Phase 1 and connects pedestrian walkways between each building and the two phases. Additional amenity space is proposed adjacent to the existing greenspace, and an indoor amenity room in Building B will open directly toward the greenspace. Additionally, a dog run for residents is proposed at the southern end of the site, and a three-stream solid waste receptacle enclosure is proposed to the south of Building A.

Building Design

Each building is contemporary in design with flat roofs flared at the western ends of the buildings to provide visual interest from the highways. Exterior materials include cementitious plank siding, wood-like cladding, cement composite, brick veneer, black vinyl windows, and aluminum railings for the patios and decks. The proposed exterior finishes are complementary to Phase 1 of the development; however, the building design is varied for Phase 2.

The main building entrances are emphasized by projecting canopies with wood accents. Each upper unit has its own deck, which is recessed into the façade with the railings projecting out from the building face to provide articulation on all sides of the buildings. A vertical detail is added in between the fourth and fifth floors to breakup the massing. The upper floor corners of the buildings are emphasized by a material change and decks that wrap around the building. Window design facing the Nanaimo Parkway will be required to meet acoustic standards as recommended by the Nanaimo Parkway Design Guidelines, with an acoustic study to be secured as a condition of the Development Permit.

Landscape Design

The north, west, and south sides of the site contain a generous landscape buffer, and the edge of the internal drive aisle will be planted with trees. The edge treatment consists of a mix of coniferous and deciduous trees. Groundcover onsite will consist of a hydroseeded pollinator mix and natural lawn with low plantings around the base of each building to provide separation for the private patio areas. Trees are interspersed among the central parking area of the site and the solid waste enclosure will be screened with vegetation adjacent to the parking area.

Pedestrian walkways within the site will be surfaced with stamped, coloured asphalt and many parking stalls will be paved with a permeable surface. All private patios will be finished with pavers, and the entrances of each building have concrete pavers to emphasize the entry areas. Low boulder and concrete retaining walls are used throughout the site. The amenity space provided in front of Building B, adjacent to the shared park space, will include benches, café-style tables with seating, pavers, and a wooden trellis. Bollard lighting is provided throughout the site.

Design Advisory Panel

The Design Advisory Panel, at its meeting held on 2021-DEC-09, accepted DP1248 as presented with support for the proposed building height variance. The following recommendations were provided for the applicant's consideration:

- Consider adding a rooftop deck;
- Consider amending the parking area between Building A and B to provide additional amenity space for residents;
- Consider ways to revise the landscape concept and the form and character of the northwest corner of the site to highlight the property location at the entrance of the City; and,
- Consider another location for the garbage enclosure.

The applicant subsequently revised the development proposal in response to the recommendations with the following changes or comments.

- The possibility of a rooftop amenity space was explored but the applicant ultimately determined that this was not viable.
- 12 surface parking stalls have been removed from the site plan and the amenity space has been expanded. An outdoor dog run has been added to the site plan.
- The building design has been revised to create flared rooflines at the northwest corner of Building A and the west corner of Building B to create more visual interest. The applicant

has also revised the landscape plan to create a more robust buffer at the western edge of the site.

- The solid waste enclosure has been relocated to a central location from its originally proposed location at the western edge of the property, just north of Building B.

Proposed Variances

Nanaimo Parkway Setback

The minimum required front yard setback is 20.0m from a property line that abuts the Nanaimo Parkway right-of-way. The proposed Nanaimo Parkway front yard setback for Building B is 7.5m, a requested variance of 12.5m.

The variance is requested to maximize usable space onsite. The building siting in proximity to the Nanaimo Parkway is comparable to Phase 1 and will provide street presence at the northern gateway to the City. As identified in the Nanaimo Parkway Design Guidelines, this portion of the Parkway is considered part of the 'Urban Parkway' where visibility into developments is expected. In addition to the landscape buffer proposed onsite, there is existing vegetation within the Nanaimo Parkway right-of-way and the total distance between the edge of the Parkway and proposed Building B will be approximately 32m. To address potential noise impacts from the Nanaimo Parkway, an acoustic study will be required as a condition of this Development Permit.

Maximum Building Height

The maximum permitted building height in the CC4 zone is 14.0m. The proposed building height is 17.7m, a proposed variance of 3.7m.

The building height variance is proposed, in order to provide the permitted density onsite in a more compact building footprint, and to provide additional outdoor amenity space. The applicant has provided a Height Variance Rationale Letter (see Attachment H) and Massing Study (see Attachment I) to demonstrate how the same density could be achieved without a height variance but with a more distributed form of building massing that reduces the area available for outdoor amenities and permeable surfaces. In response to the DAP recommendations, the building rooflines were also elevated at the ends to provide more visual interest to this gateway site.

The subject property is located within the Woodgrove Secondary Urban Centre, as identified by the City Plan, where building heights of up to 12 storeys are contemplated. The proposed 5-storey building height achieves a more compact urban form that is supportable given the City Plan policies and will not negatively impact adjacent properties as the site is largely separated by roads and commercial uses from other residences.

Staff support the proposed variances.

SUMMARY POINTS

- Development Permit Application No. DP1248 is for two 5-storey multi-family rental residential buildings with a combined total of 149 dwelling units at 6985 Island Highway North.
- This application is the second phase of a residential development; the first phase consists of three 4-storey buildings with a combined total of 146 dwelling units at 6975 Island Highway North that were completed in 2020.
- Variances are requested to reduce the minimum required setback from the Nanaimo Parkway from 20.0m and 7.5m, and to increase the maximum permitted building height from 14.0m to 17.7m.
- Staff support the proposed variances.

ATTACHMENTS

ATTACHMENT A: Permit Terms and Conditions
ATTACHMENT B: Context Map
ATTACHMENT C: Location Plan
ATTACHMENT D: Site and Parking Plans
ATTACHMENT E: Building Elevations and Details
ATTACHMENT F: Building Renderings
ATTACHMENT G: Landscape Plan and Details
ATTACHMENT H: Height Variance Rationale Letter
ATTACHMENT I: Massing Study
ATTACHMENT J: Aerial Photo

Submitted by:

Lainya Rowett
Manager, Current Planning

Concurrence by:

Jeremy Holm
Director, Development Approvals

Dale Lindsay
General Manager, Development Services
/Deputy CAO

ATTACHMENT A

PERMIT TERMS AND CONDITIONS

TERMS OF PERMIT

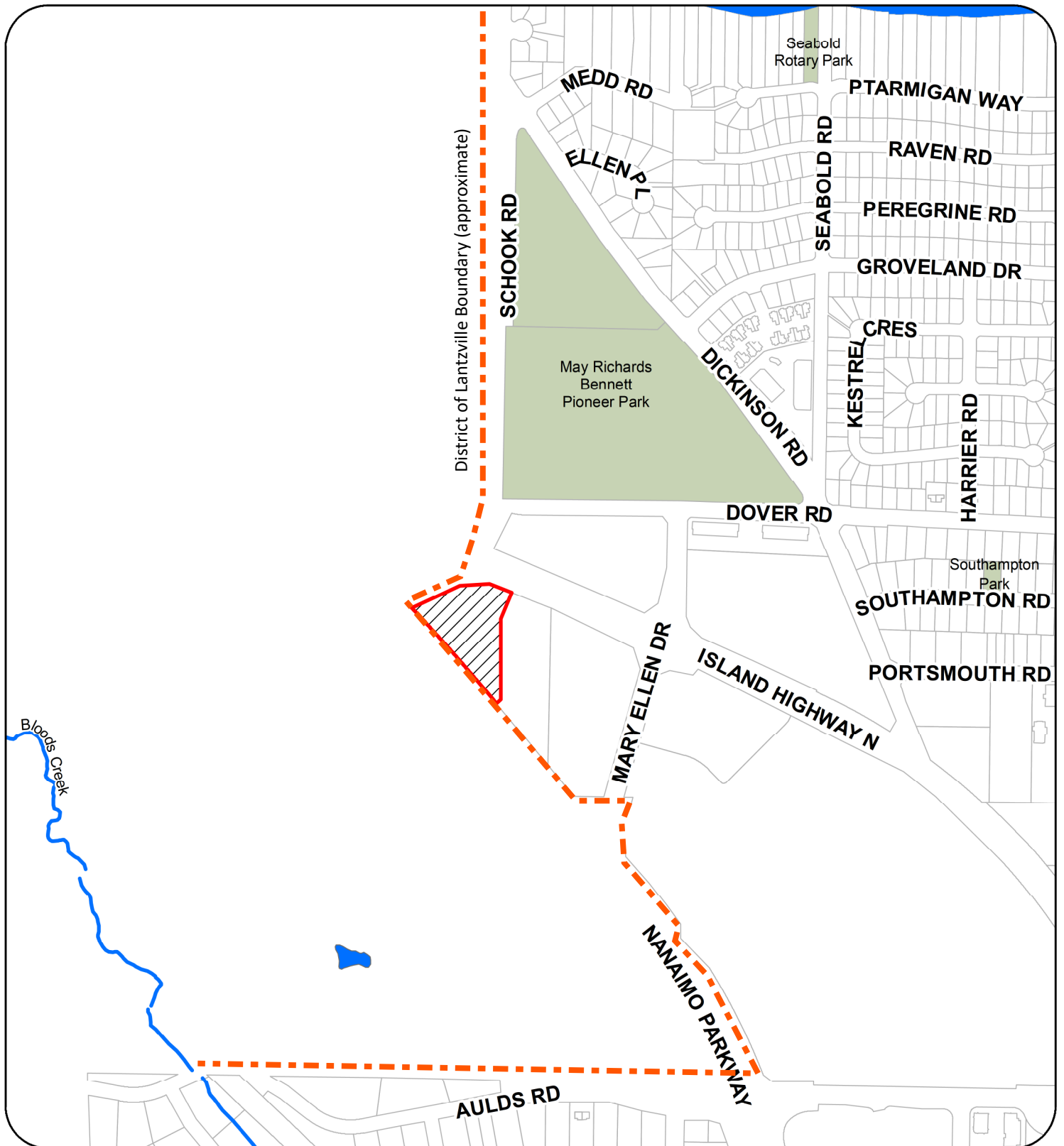
The “City of Nanaimo Zoning Bylaw 2011 No. 4500” is varied as follows:

1. *Section 6.23.1 Nanaimo Parkway* – to reduce the minimum permitted front yard setback from a property line that abuts the Nanaimo Parkway right-of-way from 20.0m to 7.5m for Building B.
2. *Section 10.6.1 Size of Buildings* – to increase the maximum permitted building height for Buildings A and B from 14.0m to 17.7m.

CONDITIONS OF PERMIT

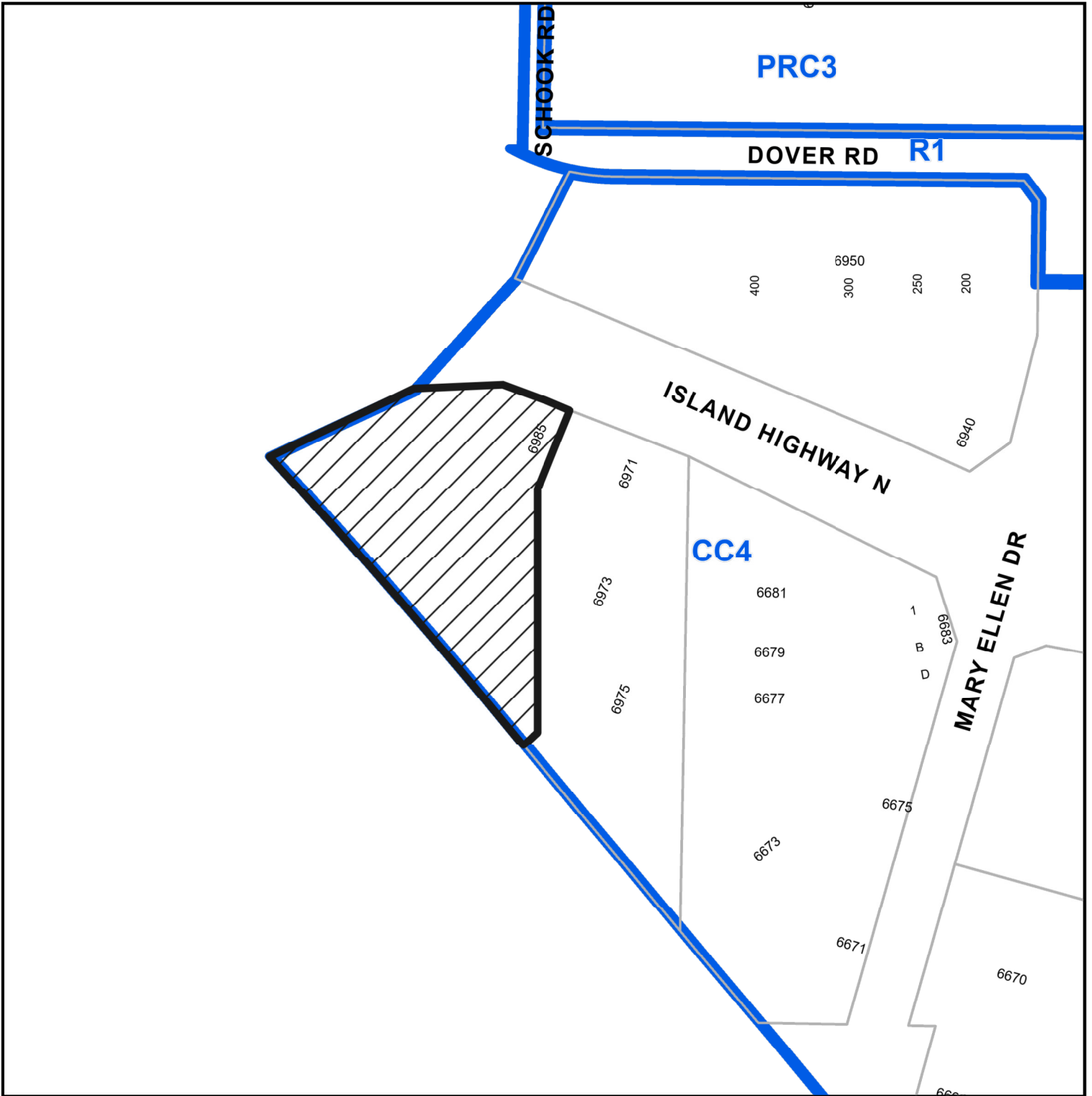
1. The subject property shall be developed in accordance with the Site and Parking Plans prepared by Daryoush Firouzli Architecture Inc., dated 2022-MAY-27 and 2022-AUG-11, as shown on Attachment D.
2. The subject property shall be developed in general compliance with the Building Elevations and Details prepared by Daryoush Firouzli Architecture Inc., dated 2022-JUL-29 and 2022-AUG-11, as shown on Attachment E.
3. The subject property is in general compliance with the Landscape Plan and Details prepared by Durante Kreuk Ltd., dated 2022-JUL-26, as shown on Attachment G.
4. An acoustic study, prepared by a qualified registered professional, to demonstrate that the residential units will meet the Canada Mortgage and Housing Corporation (CMHC) acoustic criteria for residential development (as per the Nanaimo Parkway Design Guidelines) shall be submitted to the City of Nanaimo prior to Building Permit issuance, to the satisfaction of the Director of Development Approvals; and Building Permit plans shall incorporate any building material specifications as recommended by the acoustic study.

ATTACHMENT B CONTEXT MAP



6985 ISLAND HIGHWAY NORTH

ATTACHMENT C
LOCATION PLAN



DEVELOPMENT PERMIT APPLICATION NO. DP001248

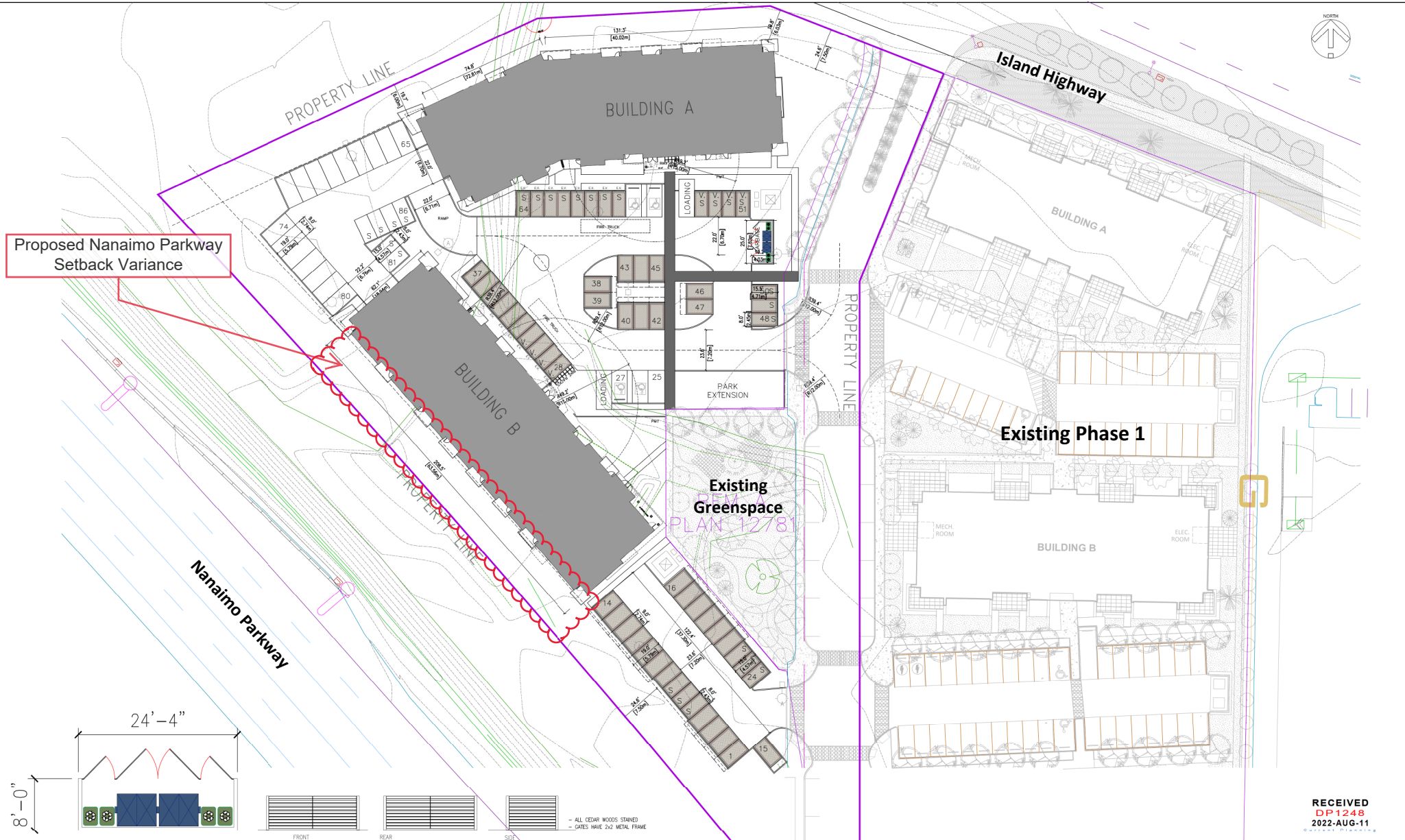


Subject Property

CIVIC: 6985 ISLAND HIGHWAY NORTH

LEGAL: LOT 2, DISTRICT LOT 26, WELLINGTON DISTRICT, PLAN EPP80768

ATTACHMENT D SITE AND PARKING PLANS



RECEIVED
DP 1248
2022-AUG-11

NOTES

- This drawing is an approval of works in the project.
- It is the responsibility of the contractor to ensure that all work is done in accordance with the approved plans and specifications.
- The contractor is responsible for obtaining all necessary permits and approvals from the relevant authorities.
- The contractor is responsible for ensuring that all work is done in accordance with the applicable laws and regulations.
- The contractor is responsible for ensuring that all work is done in a safe and sound manner.
- The contractor is responsible for ensuring that all work is done in a timely manner.
- The contractor is responsible for ensuring that all work is done in a professional manner.
- The contractor is responsible for ensuring that all work is done in a cost-effective manner.
- The contractor is responsible for ensuring that all work is done in a sustainable manner.
- The contractor is responsible for ensuring that all work is done in a socially responsible manner.



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DARYOUBH FIRDOLU ARCHITECTURE INC.

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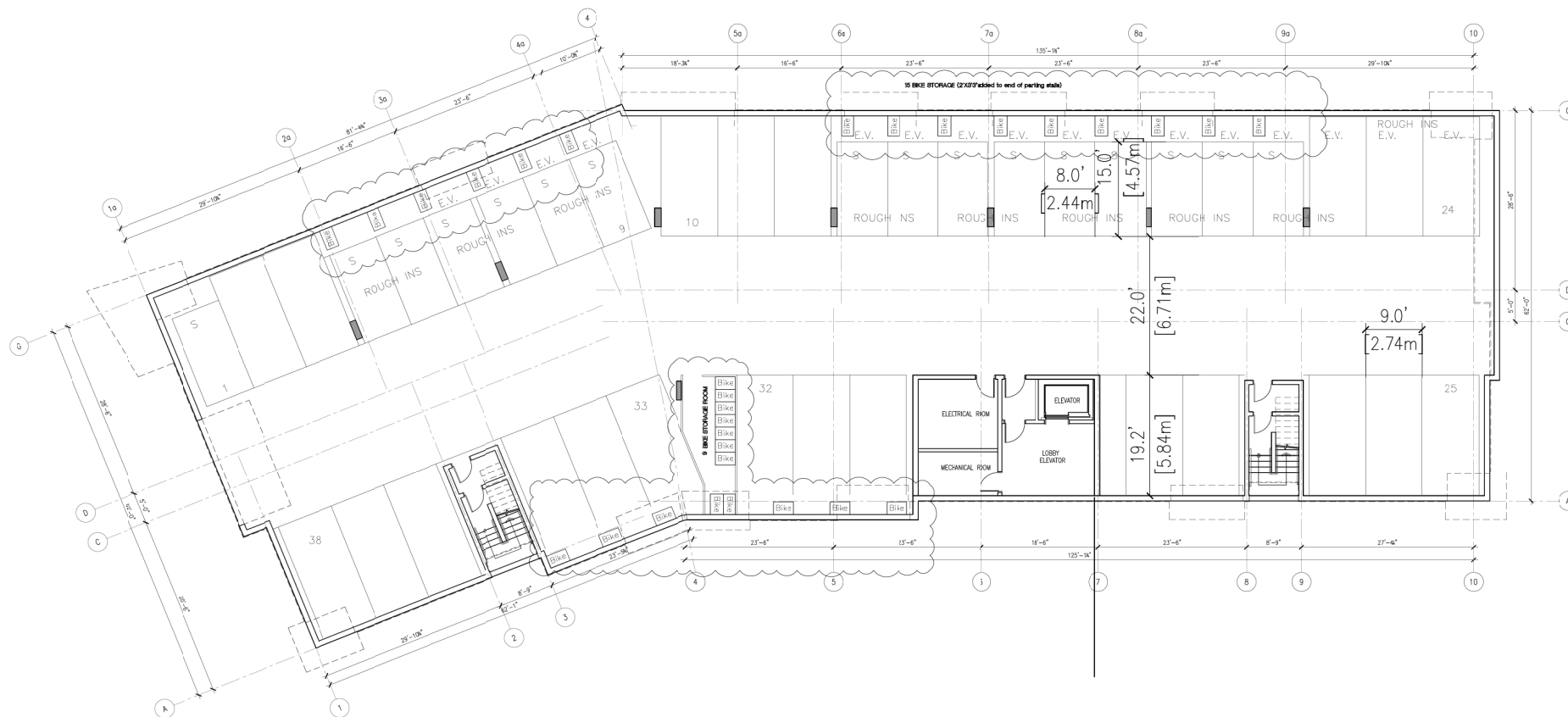
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DATE	26 JULY 22

PROJECT
NORTH GROVE #2
6985 ISLAND HWY NORTH
NANAIMO, BC
PHASE #2

CLIENT
DISTRICT
PROJECT NO. 2176

SHEET TITLE
SITE PLAN
PRELIMINARY

SHEET NO.
A1.0
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UNDERGROUND PARKING FLOOR PLAN

NOTES

1. THIS DRAWING IS AN INSTRUMENT OF SERVICE IN THE PROVINCE OF BRITISH COLUMBIA. IT IS THE PROPERTY OF DARYVOUSH FIRDOUZI ARCHITECTURE INC. AND IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. IT IS NOT TO BE REPRODUCED, COPIED, REPRODUCED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF DARYVOUSH FIRDOUZI ARCHITECTURE INC.
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PROJECT
 NORTH GROVE #2
 6985 ISLAND HWY NORTH
 NANAIMO, BC
 PHASE #2

CLIENT
DISTRICT
 PROJECT NO.
 2176

SHEET TITLE
 UNDERGROUND PARKING
 PRELIMINARY
 BUILDING A

SHEET NO.
A3.0
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ATTACHMENT E BUILDING ELEVATIONS AND DETAILS



NOTES

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Reference drawings shall not be used unless they are specifically identified as such on the drawing. Any changes to the drawing shall be indicated by a revision number and date. The architect shall be responsible for ensuring that the drawing is accurate and complete. The client shall be responsible for ensuring that the drawing is used for the intended purpose and that all necessary permits and approvals are obtained before construction begins.

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 DATE: JULY 26 22

PROJECT: NORTH GROVE #2
 6985 ISLAND HWY NORTH
 NANAIMO, BC
 PHASE #2

CLIENT: DISTRICT
 PROJECT NO.: 2176

SHEET TITLE: BUILDING ELEVATIONS
 BUILDING A
 PRELIMINARY

SHEET NO.: **A4.1**
 REVISION:

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 DP 1248
 2022-Aug-11
 CLERK OF WORKS

EXTERIOR MATERIALS & COLORS		
CODE	COLOR	MATERIAL
1		CEMENT COMPOSITE SIDING EVENING BLUE
2		CEMENT COMPOSITE SIDING IRON GREY
3		CEMENT COMPOSITE SIDING ARCTIC WHITE
4		8" HARDIE PLANK SIDING LIGHT MIST
5		FAUX WOOD CLADDING
6		VENEER BRICK RED BRICK
7		BLACK ALUMINUM RAILING
8		BLACK VINYL WINDOWS/DOORS



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DP 1248
2022-JUL-29
DESIGN PARTNERS

NOTE:
This drawing is an enhancement of work in the property
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responsible for providing accurate information and
for obtaining all necessary permits. The architect
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as a result of the client's failure to provide
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ARCHITECT SEAL

CONSULTANT LOGO

CONSULTANT SEAL

SCALE: 1/8" = 1'-0"
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DATE: 25 JULY 21

PROJECT:
NORTH GROVE #2
6985 ISLAND HWY NORTH
NANAIMO, BC
PHASE #2

CLIENT:
DISTRICT
PROJECT NO.: 2176

SHEET TITLE:
BUILDING ELEVATIONS
BUILDING A
PRELIMINARY

SHEET NO.:
A4.2
REVISION:



NOTES

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Architect: **D-ARCHITECTURE**
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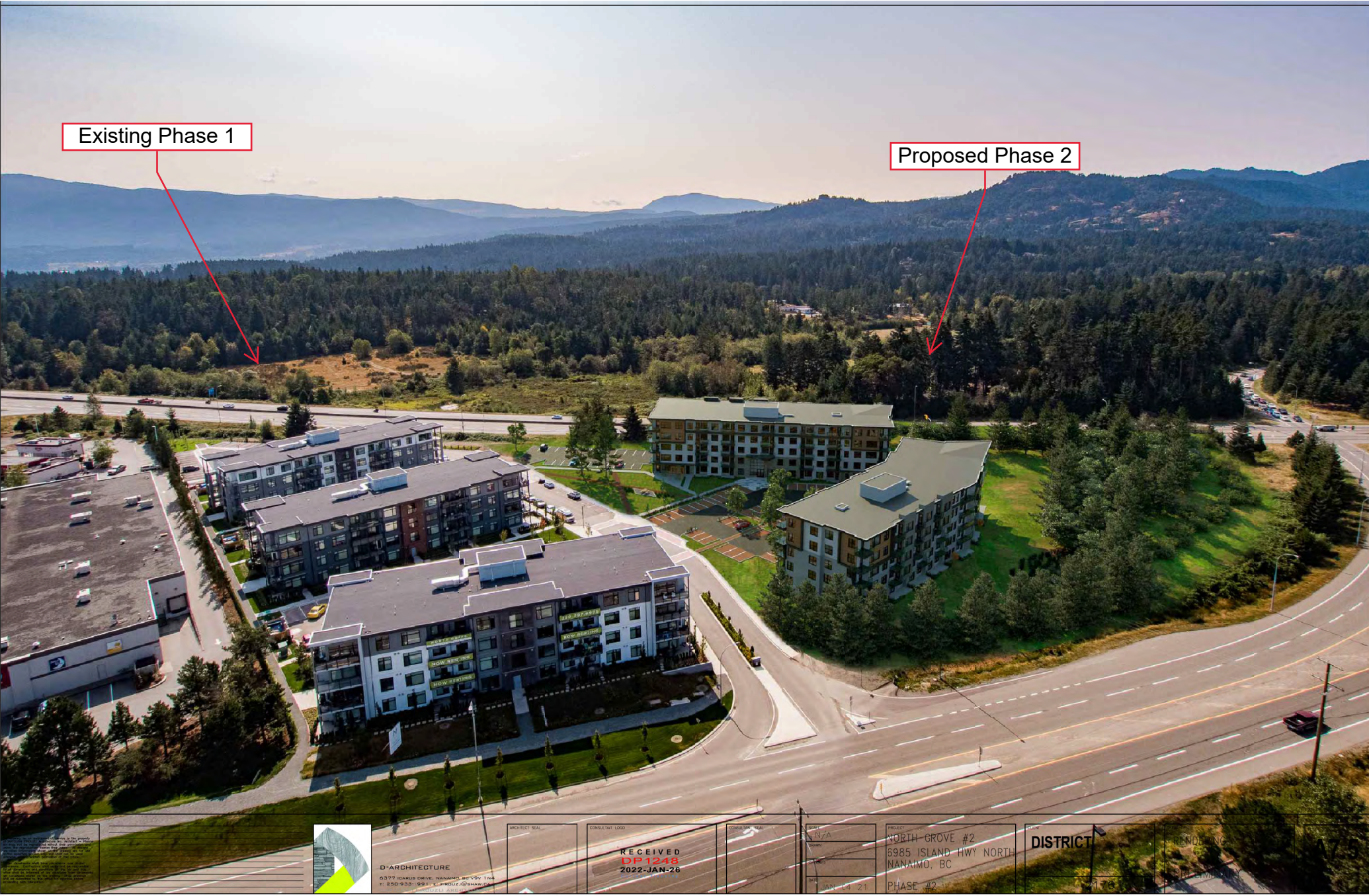
PROJECT: NORTH GROVE #2
 6985 ISLAND HWY NORTH
 NANAIMO, BC
 PHASE #2

CLIENT: **DISTRICT**
 PROJECT NO.: 2176

SHEET TITLE: BUILDING ELEVATIONS
 BUILDING B
 PRELIMINARY

SHEET NO.: **A5.1**
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ATTACHMENT F BUILDING RENDERINGS



Existing Phase 1

Proposed Phase 2

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Proposed Phase 2

Existing Phase 1

<p>NOTES: This drawing is an architectural rendering of a proposed project. It is not intended to be used for construction or other purposes without the approval of the relevant authorities. The rendering is for informational purposes only and does not constitute a contract or any other legal document. The rendering is subject to change without notice.</p>		<p>D-ARCHITECTURE 6377 ICARUS DRIVE, NANAIMO, BC V9Y 1H6 T: 250-938-1991; E: PIRRUZZI@SHAW.CA</p>	<p>ARCHITECTURE</p>	<p>DATE: 2022-01-26 RECEIVED DP 1248 2022-JAN-26</p>	<p>CONSOLE: SIX</p>	<p>SCALE: N/A DRAWN: CHECKED:</p>	<p>PROJECT: NCRTH GROVE #2 6985 ISLAND HWY NORTH NANAIMO, BC PHASE #2</p>	<p>DISTRICT 2176</p>	<p>PHASE: RENDERING PRELIMINARY</p>	<p>SHEET NO: A7.6</p>
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View of Building A from Internal Courtyard

NOTES

The drawing is an indication of intent in the project and does not constitute a contract. For information, refer to the contract documents. It is the responsibility of the client to ensure that the drawing is for the intended use and that all necessary permits are obtained. The client shall be responsible for obtaining all necessary permits and approvals. The client shall be responsible for ensuring that the drawing is for the intended use and that all necessary permits are obtained. The client shall be responsible for ensuring that the drawing is for the intended use and that all necessary permits are obtained.



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PROJECT
 NORTH GROVE #2
 6985 ISLAND HWY NORTH
 NANAIMO, BC
 PHASE #2

CLIENT
DISTRICT
 PROJECT NO. 2176

SHEET TITLE
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DP1248
2021-OCT-07

SHEET NO.
A6.1
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View of Buildings A and B from the West

<p>NOTES</p> <p>1. The client has approved all drawings of this project, and the client has agreed to be responsible for the accuracy of the information provided in this drawing. The client has also agreed to be responsible for the accuracy of the information provided in this drawing.</p>	<p>PROJECT: 2176</p>	 <p>D-ARCHITECTURE 6277 GARDNER DRIVE, NANAIMO, BC V9Y 1J4 T: 250-932-1991, E: PRODUCE@DARCHA.BA</p>	<p>PROFESSOR SEAL</p>	<p>CONSULTANT LOGO</p> <p>RECEIVED DP1248 2022-JAN-26</p>	<p>ENGINEER SEAL</p>	<p>SCALE: N/A</p> <p>DATE: JUN 04 21</p>	<p>PROJECT: NORTH GROVE #2 6985 ISLAND HWY NORTH NANAIMO, BC</p> <p>PHASE #2</p>	<p>CLIENT: DISTRICT</p> <p>PROJECT NO: 2176</p>	<p>SHEET TITLE: RENDERING</p> <p>PRELIMINARY</p>	<p>SHEET NO: A7.7</p> <p>REVISION</p>
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ATTACHMENT G LANDSCAPE PLAN AND DETAILS



DRAWING LIST

L1- Graphic Site Plan, Legend
 L2- Grading Plan, East
 L3- Grading Plan, West
 L4- Planting Plan, East
 L5- Planting Plan, West
 L6- Details
 L7- Detail

DETAIL	KEY	TAG	MATERIAL
SURFACING			
(Symbol)	(Symbol)	(Symbol)	C/P Concrete (On site) Refer to Civil/Struct drawings
(Symbol)	(Symbol)	(Symbol)	Stamped & Coloured Asphalt Refer to Civil/Struct drawings
(Symbol)	(Symbol)	(Symbol)	Concrete Pavers: "Venetian Cobble" Supplier: Advanced Concrete Supply, 80% Natural, 10% Copolymer, 10% Sandstone/Pattern, Sealed Bond
(Symbol)	(Symbol)	(Symbol)	Vehicular Permeable Paving Refer to Civil/Struct drawings
(Symbol)	(Symbol)	(Symbol)	RoundRiver Rock
(Symbol)	(Symbol)	(Symbol)	Hydrapressed Patio Pavers 18" x 18"
(Symbol)	(Symbol)	(Symbol)	Hydroseeded Pollinator Mix
(Symbol)	(Symbol)	(Symbol)	Sod Lawn
(Symbol)	(Symbol)	(Symbol)	Planting
(Symbol)	(Symbol)	(Symbol)	Hedge
(Symbol)	(Symbol)	(Symbol)	Compacted Gravel

(Symbol)	(Symbol)	(Symbol)	Bike Stalls Supplier: Velocore Forms Model: Rick-Bike Rack Finish: Powder Coat Black Contact: JJA-Ryan-800-430-6206 vj2026_jja@ria-landscape.com
(Symbol)	(Symbol)	(Symbol)	Wood Sunch Supplier: Velocore Forms Model: Rapid-60" Narrow Wood Contact: JJA-Ryan-800-430-6206 vj2026_jja@ria-landscape.com
(Symbol)	(Symbol)	(Symbol)	Boulder Wall 18" - 20" Height
(Symbol)	(Symbol)	(Symbol)	Retaining Wall
(Symbol)	(Symbol)	(Symbol)	Bollard Lighting To be coordinated with site consultant to match Phase 1
(Symbol)	(Symbol)	(Symbol)	Wooden Fence Supplier: Velocore Forms Model: American
(Symbol)	(Symbol)	(Symbol)	Lounge Chairs Supplier: Velocore Forms Model: American

GRADING KEY		MECHANICAL KEY	
tw	Top of Wall	(Symbol)	Hosebib
bw	Bottom of Wall	(Symbol)	Irrigation Stub
±189'-6"	Spot Elevation		
(Symbol)	Direction of Flow		

Trees	QTY	BOTANICAL NAME	COMMON NAME	SIZE
(Symbol)	8	Acer rubrum 'Sun Valley'	Sun Valley Red Maple	6cm cal. WB
(Symbol)	20	Acer circinatum	Vine Maple	5cm cal. WB
(Symbol)	10	Cornus Venus	Venus Dogwood	5cm cal. WB
(Symbol)	37	Pseudotsuga menziesii	Douglas Fir	2.5m Ht B+B
(Symbol)	15	Populus tremuloides	Trembling Aspen	4cm cal. WB
(Symbol)	9	Prunus serotina 'Kwanzen'	Kwanzen Flower Cherry	7cm cal. WB
(Symbol)	11	Quercus garryana	Garry Oak	2m Ht WB
(Symbol)	10	Thuja plicata	Western Red Cedar	2.5m Ht WB

Shrubs				
SYR	QTY	BOTANICAL NAME	COMMON NAME	SIZE SPACING
Am	4	Amelanchier alnifolia	Servicberry	2.5m Ht
Aw	36	Arbutus unedo 'tompaeta'	Dwarf Strawberry Tree	43 pot 48" o.c.
az	65	Azalea 'Gumpo White'	Dwarf Azalea	43 pot 20" o.c.
C	59	Cornus sericea 'Kelsey'	Dwarf Red-Osier Dogwood	42 pot 20" o.c.
La	159	Lavender 'Hidcote'	Lavender	42 pot 20" o.c.
Ln	156	Lonicera pleata	Box Honeysuckle	42 pot 24" o.c.
Al	55	Rhododendron Cunningham's White		43 pot 30" o.c.
Rh	33	Rhododendron 'Unique'		43 pot 30" o.c.
Sp	17	Salix purpurea 'Nana'	Dwarf Arctic Willow	42 pot 30" o.c.
Sb	11	Spiraea betulifolia	Bitch Leaf Spiraea	42 pot 24" o.c.
(S)	544	Thuja 'tamarug'	Cedar Hedge	1.2m Ht B+B
Ra	55	Ribes sanguineum	Red Currant	42 pt 24" o.c.
Rv	22	Rosa rugosa	Beach Rose	42 pot 24" o.c.

Perennials / Ferns / Grasses / Groundcovers / Vines				
SYW	QTY	BOTANICAL NAME	COMMON NAME	SIZE SPACING
k	23	Arctostaphylos uva-ursi	Kinnikinnick	41 pot 18" o.c.
e	68	Eriophyllum lanatum	Woolly Sunflower	41 pot 18" o.c.
j	12	Junonia acuminatus	Taper-Tipped Rush	42 pot 30" o.c.
m	362	Malva repens	GC Malva	42 pot 24" o.c.
p	254	Pachyandra terminalis	Japanese Spurge	4" pot 12" o.c.
pm	94	Polystichum montanum	Western Sweet Fern	42 pot 24" o.c.
a	58	Anemone hepatica	Japanese Anemone	41 pot 18" o.c.
f	67	Rubus chingii	Black-Eyed Susan	42 pot 24" o.c.
W	2	Wisteria Longissima Kyojishiki		43 pot

GENERAL NOTES

General Notes

- Refer to architectural drawing for wall and slab level and elevations, unless otherwise noted.
- Refer to electrical drawings for all final landscape lighting fixture and specifications.
- Refer to structural and mechanical drawings for all start locations and line elevations.
- All trees to be installed in accordance with BC SCA standards.
- All irrigation products to be installed per manufacturer specifications.

Planting Notes

- Refer to planting plan for BC SCA and Canadian landscape standards.
- Plant selection subject to availability of the time of planting.
- Contractor shall ensure specified plant material and only other areas of search has been exhausted will substitutions be considered.
- All trees to be installed in accordance with BC SCA standards.
- Contractor shall ensure specified plant material and only other areas of search has been exhausted will substitutions be considered.
- Plant trees and related container classes are specified according to the BC SCA Landscape Standards current edition. For container classes of 100 and smaller plant size shall be shown in the plans for all trees and shrubs. For all other species, botanical type and container class shall be shown in the planting schedule. Specifically, when the plant list code for 100 class containers, there shall be as defined in the BC SCA (SAND) standards.
- All trees shall have minimum 15 cubic metres of growing medium unless otherwise specified.

SOIL NOTES

Soil Preparation and Placement Notes

- Soil growing medium placed on project to meet or exceed BC SCA and Canadian Landscape Standards latest edition.
- Soil growing medium shall be approved independent soil testing laboratory for each plant. Growing medium shall be used on the landscape plan to document the soil growing medium. Specify quantity, source and type of soil. Minimum 100kg bagged soil growing medium is approved. Provide one complete sample of each type of proposed growing medium for each different application within the project (minimum 1 lit per physical sample).
- Soil tests shall be made at least seven (7) days prior to placement.
- Contractor shall not remove or work growing medium (if applicable) when they are excessively wet, extremely dry or frozen or in any form which will compromise the growing medium structure. Growing medium whose structure has been destroyed by working under these conditions will be replaced. Growing medium shall not be worked in wet or frozen conditions.
- Soil growing medium shall be placed in 240 liter bags, shown quantities from one bag and city or town or other.
- Place growing medium, except structural to required finish grades and minimum depths as detailed, unless shown otherwise.

IRRIGATION NOTES

Irrigation Notes

- Irrigation to be provided for all Soil Landscape Areas shown on the drawing.
- All soil landscape areas shall be irrigated with high efficiency design built irrigation system to SCA Standards (i.e. drip system).
- All irrigation valves, flow meters, equipment with backflow preventer.
- Control of the system and the schedule shall be provided to the project or the owner and the system shall be provided for system concrete.
- "Head to Head" coverage of all down and planned area within the area as designated on the drawing.
- Record Drawings shall include operating and maintenance manuals, or readable copy of the full condition of the system.
- Install a designated representative of the Owner to incorporate operating and maintenance procedures for the system.
- Provide and maintain the system for the first time with the designated representative observing.

NOTE: See also 18 MAY 22 PHASE 1 for roadways to use schedule 80 PVC or cast iron sleeving.

Quality Assurance

- The irrigation system design and installation shall be in accordance with the irrigation industry of BC Standards and Guidelines.
- All irrigation work shall be done by an experienced and competent irrigation contractor having the facilities and personnel adequate for the work specified. Minimum standard is SCA.

North

4 25 July 2022 Re Issue for DP
 3 25 May 2022 Re Issue for DP
 2 01 Jun 2022 DP Comments
 1 04 Oct 2021 Issue for DP

no: | date: | item:

Revisions:

dk Durants Kreuk Ltd.
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 www.dk.bc.ca

Project:
 North Grove Phase 2
 6985 Island Hwy North
 Nanaimo, BC

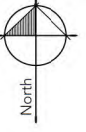
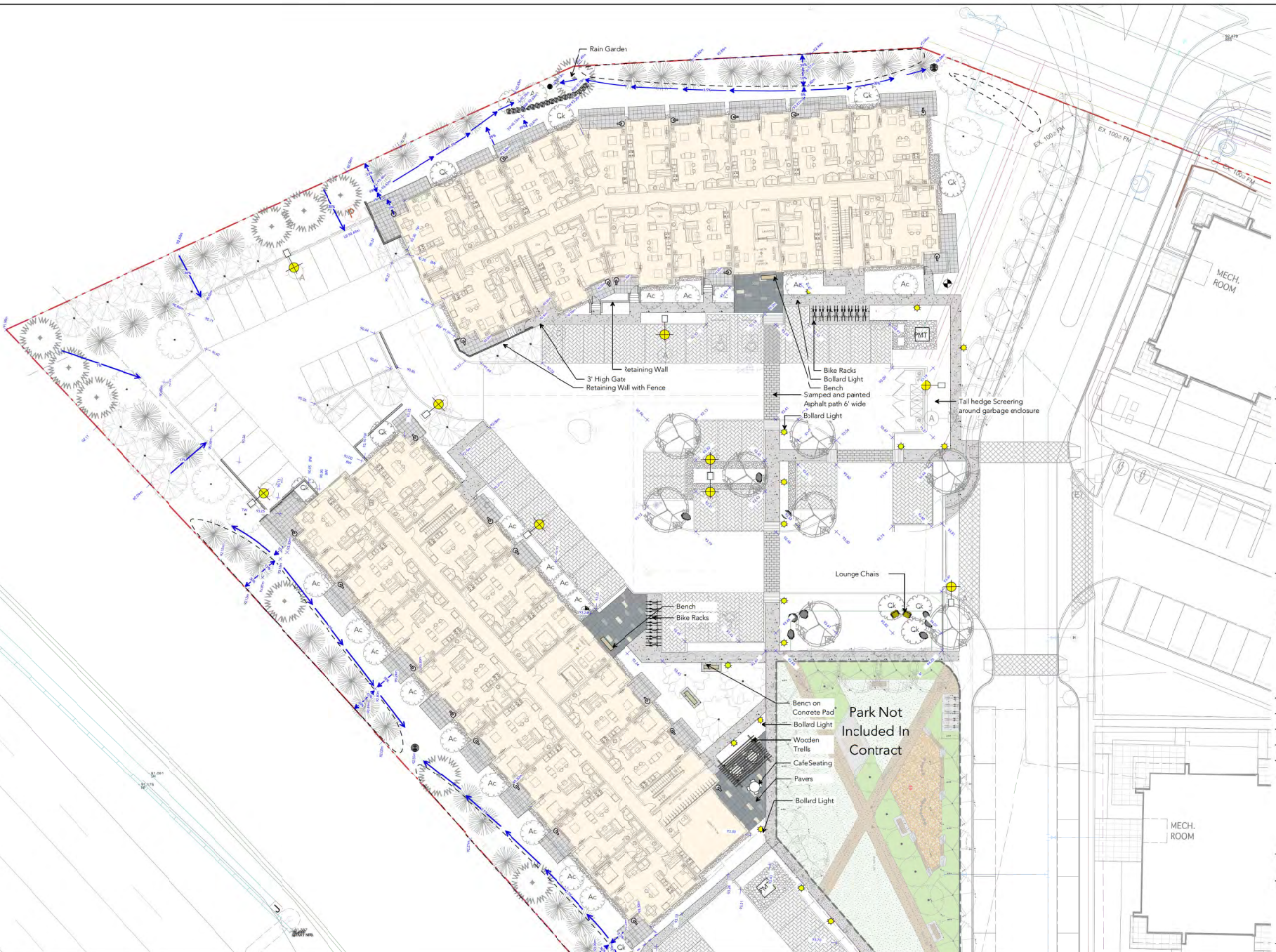
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 Checked by: SV
 Date: July 26, 2022
 Scale: 1:300

Drawing Title:
 Overall Landscape Plan

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2022-JUL-29
 Current Planning

Project No:
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Sheet No.:



3	26 July 2022	Re Issue for DP
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Revisions:

dk Durante Kowak Ltd.
 1022 - 1437 West 5th Avenue
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Project:
North Grove Phase 2
 6985 Island Hwy North
 Nanaimo, BC

Drawn by: TB
 Checked by: SV

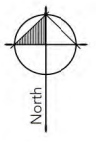
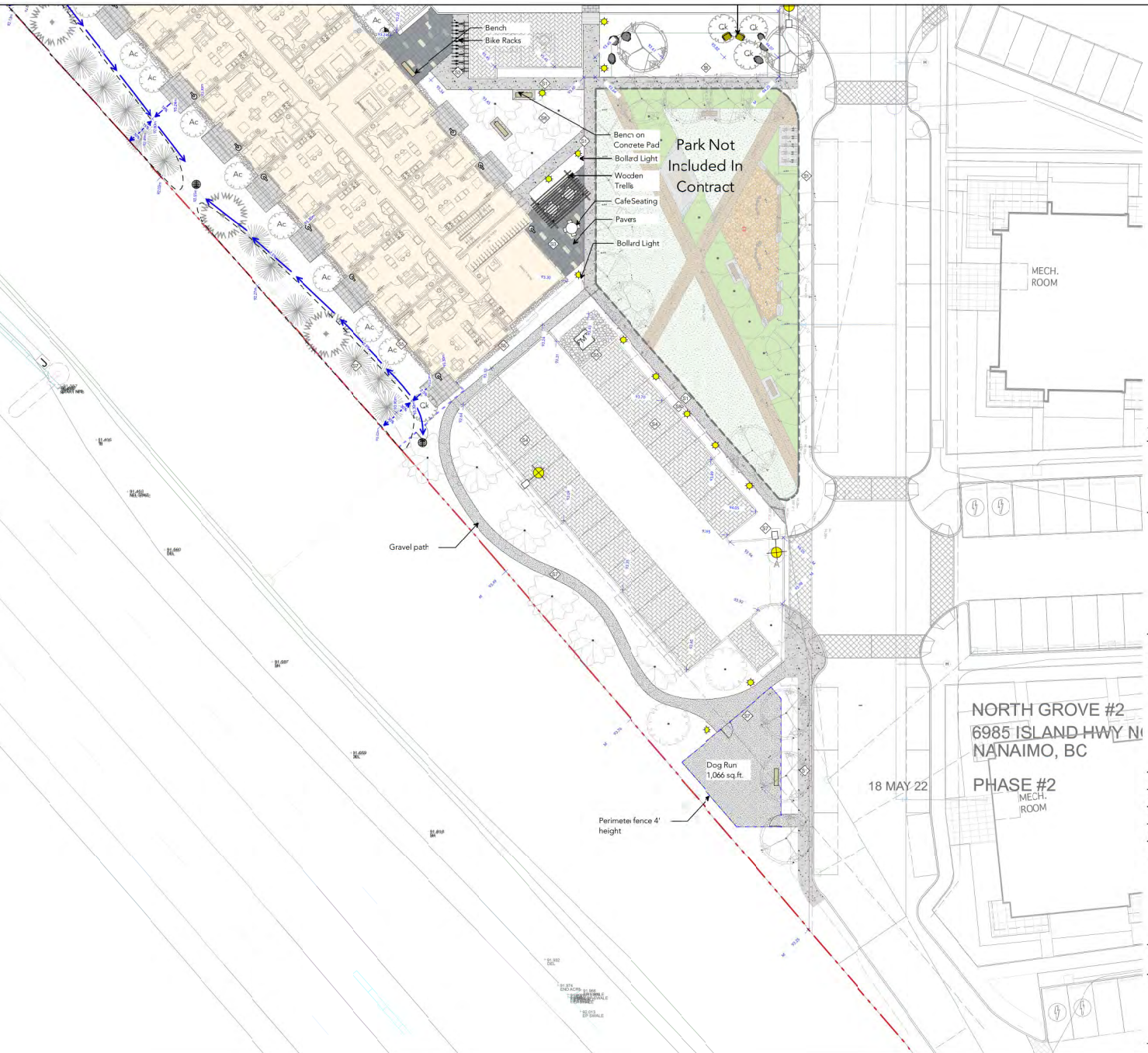
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Drawing Title:
Grading & Materials Plan

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 CIVIL ENGINEERING

Project No.:
21034
 Sheet No.:

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Project:
North Grove Phase 2
 6985 Island Hwy North
 Nanaimo, BC

NORTH GROVE #2
 6985 ISLAND HWY N
 NANAIMO, BC

18 MAY 22

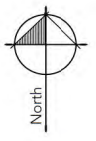
PHASE #2
 MECH.
 ROOM

Drawn by:	TB
Checked by:	SV
Date:	July 26, 2022
Scale:	1/16" = 1'

Drawing Title:
Grading & Materials Plan

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Project:
North Grove Phase 2
 6985 Island Hwy North
 Nanaimo, BC

Drawn by: TB
 Checked by: SV

Date: July 26 2022
 Scale: 1/16" = 1'

Drawing Title:
Planting Plan-North

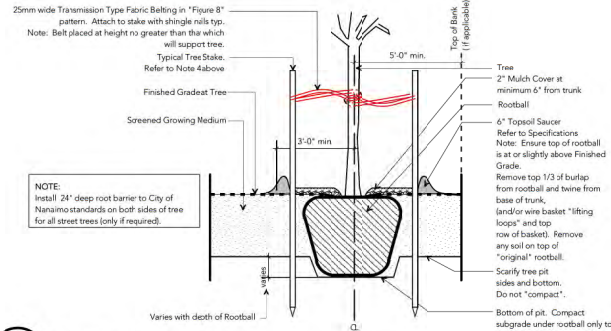
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2022-JUL-29
 CUTLER PLANNING

Project No.:
 21034
 Sheet No.:

L-4 of 7

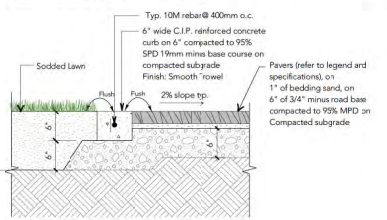
Depth of Growing Medium Total (mm)	Area (sq2)	Variation 1		Variation 2	
		Size of Surface Square	Size of Surface Circle	Size of Surface Square	Size of Surface Circle
18"	120	11 x 11 FT	12.5 FT Ø		
24"	90	9.5 x 9.5 FT	10.6 FT Ø		
30"	72	8.5 x 8.5 FT	9.5 FT Ø		

- NOTES:**
- Do not cut tree leader.
 - Protect tree from damage during planting. Ensure rootball protected from Sun, Frost or Baccilation.
 - Ensure tree location does not conflict with Underground Services. "Call before digging".
 - All street trees to be staked with 2" x 4" x 8' 0" king. Minimum depth of stake embedment is 3'-0". Ensure stakes do not penetrate or damage rootball. Ensure all stakes are aligned parallel to sidewalk/road on tree pit centreline.
 - Provide min. 2 cubic meters of growing medium per tree.
 - Refer to Growing Medium Chart below for surface area depth of Growing Medium.

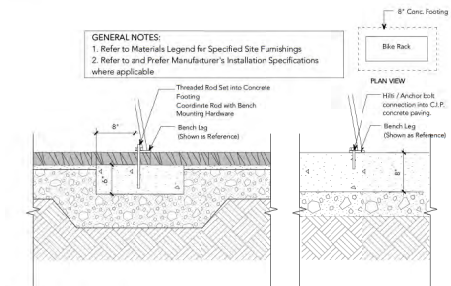


Ld-01 Typical Tree Planting on Grade
Scale: NTS

- Note:**
- Provide Mock up of paver install on for review and approval by Landscape Architect
 - Cut all Pavers as required to maintain pattern/layouts as shown in Layout Plans. All pavers to be cut with Concrete Stone Saw, no guillotine cuts will be allowed.

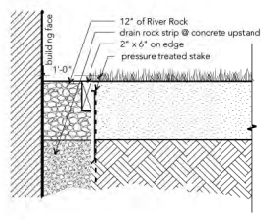


Ld-05 Pedestrian pavers on Grade
Scale: 1" = 1'-0"

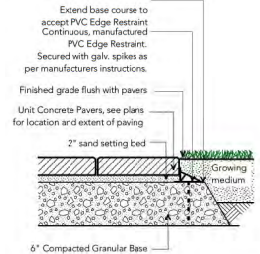


Ld-08 Site Furnishing
Scale: 1" = 1'-0"

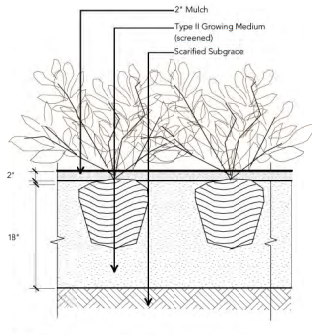
- Notes:**
- Rocks to be 4" - 8" Charcoal (BRES8) from Northwest Landscape Supply, or approved alternative.



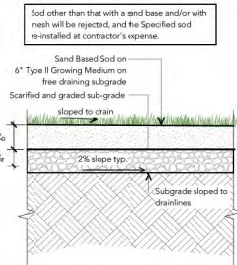
Ld-09 River Rock Drip Strip
Scale: 1" = 1'-0"



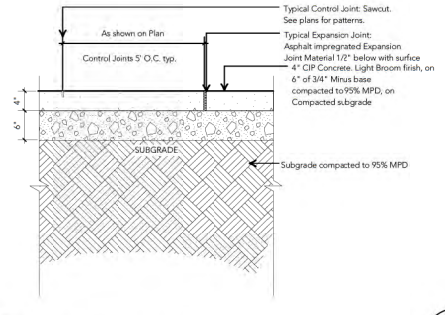
Ld-10 Hydrapressed Slab Pavers on Grade
1/2" = 1'-0"



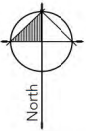
Ld-02 Typical Shrub Planting on Grade
Scale: 1" = 1'-0"



Ld-03 Sodded Lawn on Grade
Scale: 1" = 1'-4"



Ld-04 CIP Concrete sidewalk - On grade
Scale: 1" = 1'-0"



HARPO
Product Data Sheet



Bench

- Bench is available in 2x4 or 2x6.
- Bench is available with handrails, armrests, or wheelchair accessible.
- 12" high support legs in a continuous row.
- 12" high support legs and arms welded on.
- 12" high support legs and arms welded on.
- 12" high support legs and arms welded on.
- 12" high support legs and arms welded on.
- 12" high support legs and arms welded on.
- 12" high support legs and arms welded on.

Model	Depth	Width	Height	Weight	Material
2x4	18"	48"	36"	150 lbs	Steel
2x6	18"	48"	36"	200 lbs	Steel
2x4	24"	48"	36"	200 lbs	Steel
2x6	24"	48"	36"	250 lbs	Steel
2x4	30"	48"	36"	250 lbs	Steel
2x6	30"	48"	36"	300 lbs	Steel

Ld-06 Bench
NTS

Metro40 Collection

Product Data Sheet

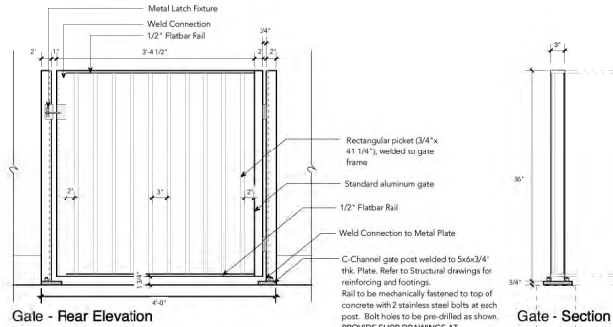


Ride™ Bike Rack

- Capacity: 2 bikes
- Surface mount or embedded to concrete surface.
- Requires only two bolts to mount, with extra surface mount anchor bolts provided.
- 4 stainless steel leveling glasses within the base are provided for fine adjustment from top side of base.
- Cover plate over bike rack base provides seamless appearance.

Model	Depth	Width	Height	Weight	Material
Ride Rack	3"	18"	18"	15 lbs	Steel

Ld-07 Bike Rack
NTS



Ld-11 36" Height Metal Fence (Wall Mounted)
Scale: 1" = 1'-0"

- Revisions:
- | | | |
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| 3 | 26 July 2022 | Re Issue for DP |
| 2 | 25 May 2022 | Re Issue for DP |
| 1 | 04 Oct 2021 | Issue for DP |

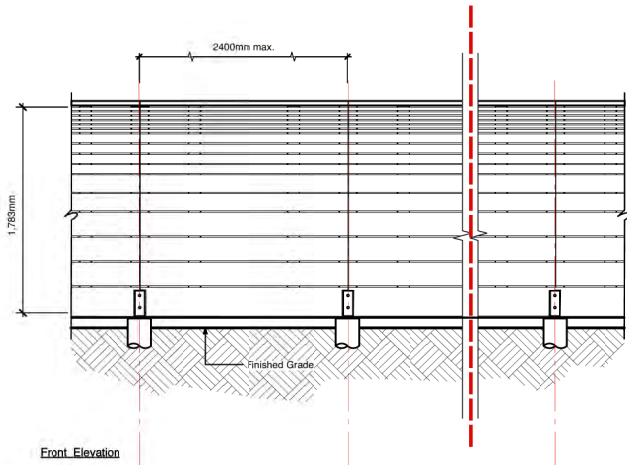
dk Durante Kneak Ltd.
102 - 1627 West 5th Avenue
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Project:
North Grove

Drawn by: TB
Checked by: SV
Date: July 26 2022
Scale: 1/16" = 1"

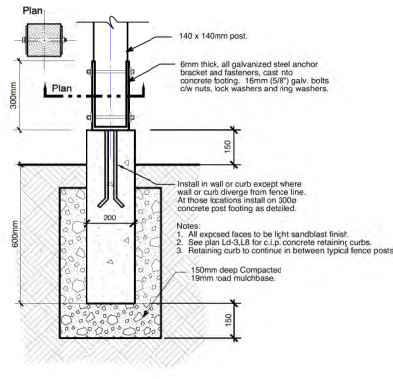
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2022-JUL-29
Project No.: 21034

Sheet No.: L-6 of 7



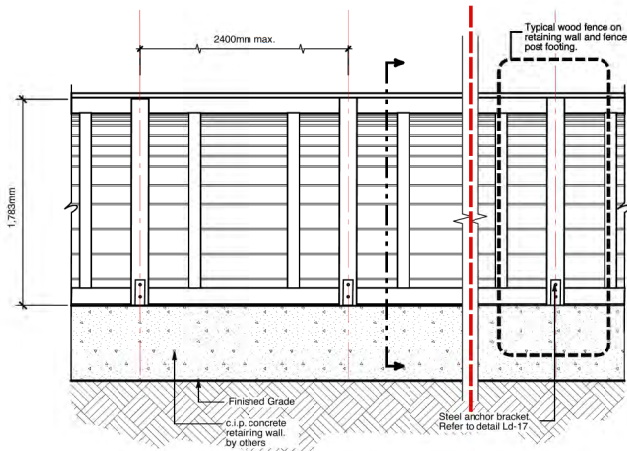
Front Elevation

Ld.01 Wooden Fence
L-1.0 Scale: 1/2" = 1'-0"



Detail

Fence post footing detail on c.i.p. concrete retaining curb
Scale 1:10

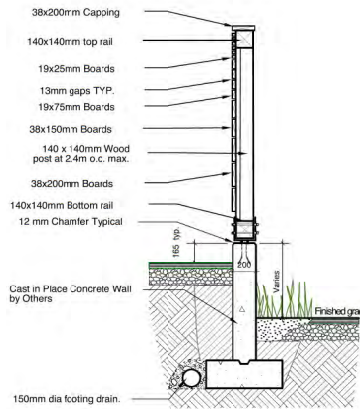


Back Elevation

Ld.02 Wooden Fence on Retaining Wall
L-1.0 Scale: 1/2" = 1'-0"

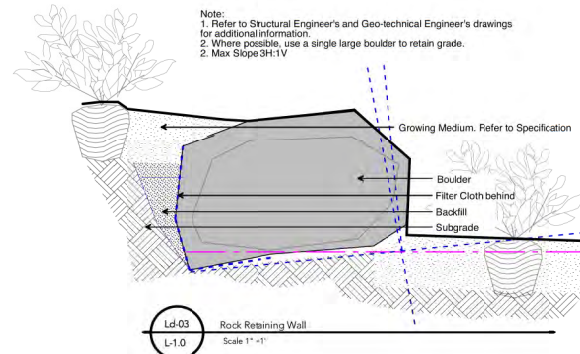
NOTE: All fence material to be select western red cedar resawn, pressure treated (P.T.) Hem/fir where noted. All spikes and fasteners to be hot-dipped galvanized.

Notes:
1. Refer to Structural / Civil Drawings for Reinforcing / Wall Detail.

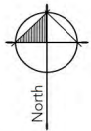


Section

Wooden Fence on Retaining Wall, Section
Scale: 1/2" = 1'-0"



Ld.03 Rock Retaining Wall
L-1.0 Scale: 1/2" = 1'-0"



no.:	date	item:
3	26 July 2022	Re issue for DP
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Drawing Title:
Details

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21034
Sheet No.:

ATTACHMENT H HEIGHT VARIANCE RATIONALE LETTER



T 604.377.3382 200-8809 Heather Street
Vancouver BC V6P 3T1
districtgroup.ca

July 29, 2022

City of Nanaimo
Planning Department
455 Wallace Street
Nanaimo, BC V9R 5J6

Attn: Mr. Caleb Horn, Planner, Current Planning

RE: DP# 1248 6985 Island Hwy N, PID 030-901-952 | Height Variance Rationale

PROJECT OVERVIEW

The project site is located within the area designated as the Woodgrove Urban Node of the Nanaimo Official Community Plan and is designated as a Secondary Urban Centre. The property abuts 6795 Island Highway N to the east, and is located between Island Highway N to the north and Nanaimo Parkway to the south. There are no servicing or infrastructure challenges to be expected with the development of this property. Specifically, our proposal as presented is for the development of the second phase of a purpose-built rental apartment development.

As part of the pre-application process District Group, as the applicant, worked extensively with City staff throughout the site planning stage which began in November 2020 through March 2021. During this time, the applicant and staff discussed multiple configurations. In this case, what was deemed to be the best arrangement on the site was a more compact building form. The proposed buildings are set back from Island Highway N by a landscape buffer that allows the buildings to be visually in and amongst the proposed new landscaping. As is indicated in the development guidelines, parking has been strategically placed in areas that can be shrouded by screening along both the Parkway and the North Island Highway.

REQUESTED HEIGHT VARIANCE

The application was referred to City of Nanaimo Design Advisory Panel (DAP) on December 9, 2021. At DAP the requested height variance was not only supported by members of the panel, but we were encouraged to extend the height of our buildings above and beyond the proposed heights as this is a Gateway site to the City.

The proposed building heights are in keeping with the intent for mid-rise development in the surrounding area. The additional storey allows for a significant entrance to not only the property, but also to the north part of Nanaimo as this is a significant property and a gateway to the area. Moreover, the requested height variance does not impact the permitted density per the existing zoning. Rather, the additional storey allows for the development to have a more compact and sustainable footprint, which, in turn allows for the site to have increased permeability through the construction of an underground parkade and a decrease in overall site coverage.

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2022-JUL-29
Current Planning

The proposed project conforms with Policy D4.3.40 "Support development forms that contribute to the function of Woodgrove Urban Centre as a mixed-use centre with an integrated mix of residential, commercial, recreational, and cultural components"; as it is a purpose built residential rental community adjacent to commercial services. The proposed development is of high-quality design that contributes to the entry point to North Nanaimo.

The proposal is further supported by OCP Policy D4.3.37 which states typical building heights in Secondary Urban Centres will be between two and 12 storeys. The proposal calls for two 5 storey buildings responds to existing built forms surrounding the property providing an appropriate transition in scale to adjacent buildings. Specifically, phase 1 of this development located at 6975 Island Hwy N, is comprised of three 4 storey buildings with surface parking.

The proposal also conforms with policy D4.3.38 as the proposal is providing 149 rental residential units on a total of 1.17 hectares, contributing to the goal of providing a target density of 200 units per hectare. The project is also supported by Policy D4.3.41 which intends to support development of forms that contribute to the function of Woodgrove Urban Centre as a mixed-use centre with an integrated mix of residential, commercial, recreational, and cultural components (pg 176).

BENEFITS

Reduction in Site Coverage

The additional height facilitates one additional level of purpose built rental residential housing. In order to maximize the permitted density based on site area and ensure amenities are available for resident use the proposed project utilizes a compact building form. Without the additional storey, greater site coverage would be required to achieve the same amount of rental housing, required parking, and permitted density based on the parcel area.

Underground Parking

The proposed development has a FAR of 0.99, well below the permitted maximum density of 1.25 FAR. This was intentionally done, through an extensive planning process with municipal planning staff, as the site is uniquely shaped and given the escalating costs, the feasibility of providing more underground parking than what is currently proposed made the project economically unviable. The proposed development strikes a harmonious balance of surface and underground parking to facilitate the needs of the proposed development. The incorporation of an underground parkade beneath each respective building in conjunction with compact building footprints has allowed the site to have more open space which is reflected in Table 1 (below). The table summarizes the three scenarios as presented on page 7 of the enclosed booklet.

Site Planning Options

Option 1: Maximum density 4 storey building heights	Option 2 Same density as proposed development 4 storey building height	Option 3: Proposed Development: 5 storey building height
Total FAR: 1.25	Total FAR: 1.0	Total FAR: 1.0
Building Footprint Area: 40,300 sf	Building Footprint Area: 31,000 sf	Building Footprint: 25,000 sf
Building Heights: 4 Storeys	Building Heights: 4 Storeys	Building Heights: 5 Storeys
Underground Parking: No	Underground Parking: No	Underground Parking: Yes
Lot Coverage: 31%	Lot Coverage: 24%	Lot Coverage: 19%
Green Space: 7,765 sf	Green Space: 7,765 sf	Green Space: 39,397 sf

Table 1. Development Statistics Based on Building Heights

Please refer to page 7 of the enclosed Height Variance Rationale Booklet for massing studies which clearly illustrate the negative impacts on site coverage created by two 4-storey buildings at a density equivalent to the proposed project.

To achieve density similar to the proposed DP1248 without a height variance, the building footprints would need to increase by 6,000 sf to accommodate the same amount of density. This would result in substantially less green space provided on-site as more site area would be dedicate to building footprints and associated parking (see table 1 above for calculations).

Sustainability

As stated, increased building height allows for better site permeability which is integral for an effective and efficient Stormwater Management Plan. By achieving the additional density facilitated through the height variance, the project is able to provide the development with a total of 80 underground parking stalls. Without this variance it can be conceived that there would either be a reduction in total unit count, or a reduction in the total amount of greenspace provided on site. Further, the underground parkade facilitates an increase in open space and decrease in lot coverage as presented in table 1 above.

Permeable Pavers

Without the height variance there would be an overall decrease in the amount of permeability. Shifting away from the use of permeable pavers would lead to a substantial increase in impervious surfaces which, in turn, would decrease the water

retention of soil and vegetation on site. It can be inferred that an increase in runoff from impervious surfaces could create issues such as erosion damage to downstream channels, diminishing the recharge of groundwater and surface run off can transport pollutants commonly found in runoff from impervious surfaces. Our proposal strikes a balance between underground parking and natural ground for surface parking uses in conjunction with the green space provided on site allows for natural permeation of ground water through the use of permeable pavers and landscape areas.

All surface parking stalls that are provided in excess of the required parking ratios are proposed to be permeable pavers. Permeable pavers provide substantial benefits in regards to quantity and quality of stormwater runoff as permeable pavement catches precipitation and surface run off and stores it in a reservoir which allows for infiltration into the soils below. The use of pavers helps to re-establish a more natural hydrological balance and reduces runoff volume by trapping and slowly releasing precipitation into the ground instead of allowing it to flow into storm drains reducing strain on municipal infrastructure while recharging groundwater.

Additional On-Site Amenities

The compact building footprint allows for the programming of additional on-site amenities that are proximal to buildings located in both Phase 1 and Phase 2. By increasing building height we are able to decrease the footprint of buildings to achieve the same amount of density (see page 7 of enclosed booklet). The same level of outdoor amenity cannot be provided, neither in quantum or quality should the proposed buildings be limited to four storeys.

District has spent a tremendous amount of time and effort to find as balanced an approach as possible to having on site amenities and practical parking requirements. As discussed with City Staff, we have real time parking counts given that Phase 1 of the development is occupied (6975 Island Hwy N) and the property management company provides us with updated parking counts regularly. When driving by the subject property, many cars are currently parked as an overflow parking area as the Phase 1 parking requirements, which meet Bylaw Parking requirements do not satisfy realistic parking demands of rental housing in North Nanaimo.

Connectivity

Pathways have been designed so as to allow for the free and clear movement of pedestrians between various amenity areas located on site and connect to Phase 1 of the development. Further, the entrance of the site has a sidewalk which provides circulation to the surrounding commercial developments and essential services located throughout the Parkway.

Landscape Plantings, Park Expansion, and Dog Park

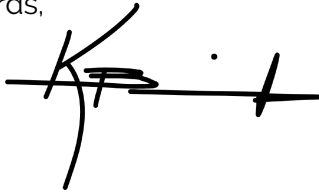
As part of Phase 1 Development, a park was constructed on the phase 2 lands to the benefit of phase 1 residents as there was no certainty in terms of timing of phase 2. Working with staff throughout the design process, we have reconfigured our surface parking in a manner that allows for the park area to be expanded upon from its current form, to accommodate and additional +/- 1500 sf of contiguous open space to benefit residents of Phase 1 and Phase 2. These spaces encourage people to interact outdoors

and escape to pockets of serene landscaping. Through the use of intentional and thoughtful planting selection and placement, a large buffer utilizing a pollinator mix provides not only a buffer between the Nanaimo Parkway and Island Highway N, but also these plantings provide soil health benefits by increasing organic matter, water infiltration, and nutrient availability; they also provide an additional forage source to honey bees and native bees. These plantings are also drought tolerant natural species which is integral to long term sustainability.

Additional to the park expansion, we have included as part of the phase 2 development, a dog park at the southwestern most point of 6985 Island Hwy N. The introduction of this dog run is to provide pet owners with an often overlooked, yet essential amenity in close proximity to their residence. Situating the dog run at this location utilizes a uniquely shaped corner of the property which would otherwise be limited in use, further, the proposed location is proximal to both Phase 1 and Phase 2 of the development. The proposed dog park is an amenity that promotes interaction and relationship building and aligns with OCP policy C3.2.23 (page 77).

We trust this information and level of detail provided in our submission package reflects the tremendous amount of thought and effort we have put into the proposal. We look forward to advancing our application to Council for consideration.

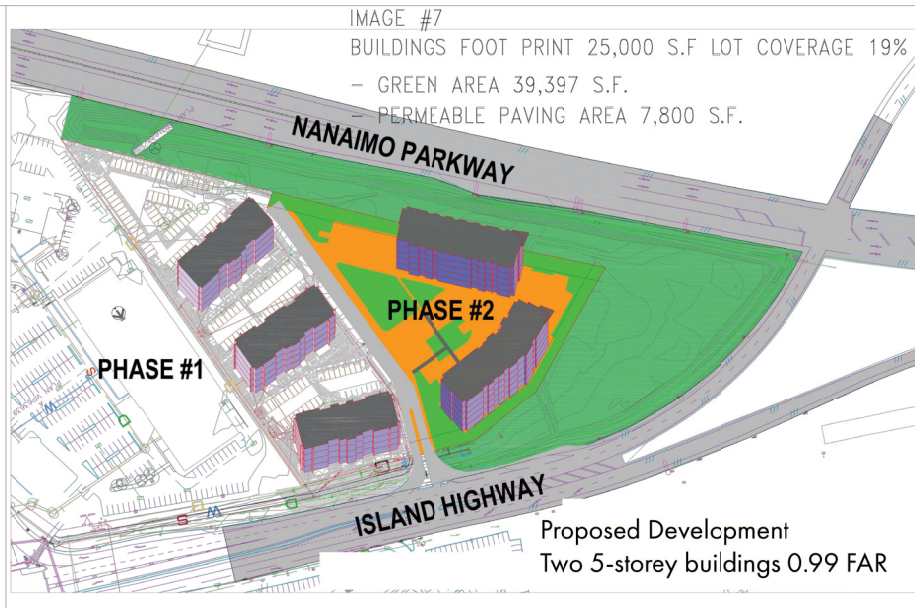
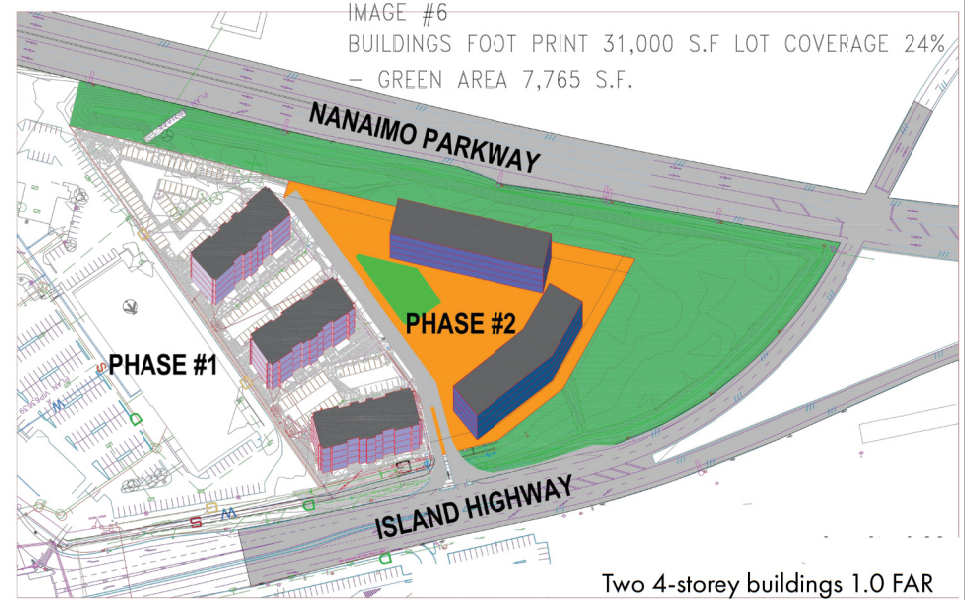
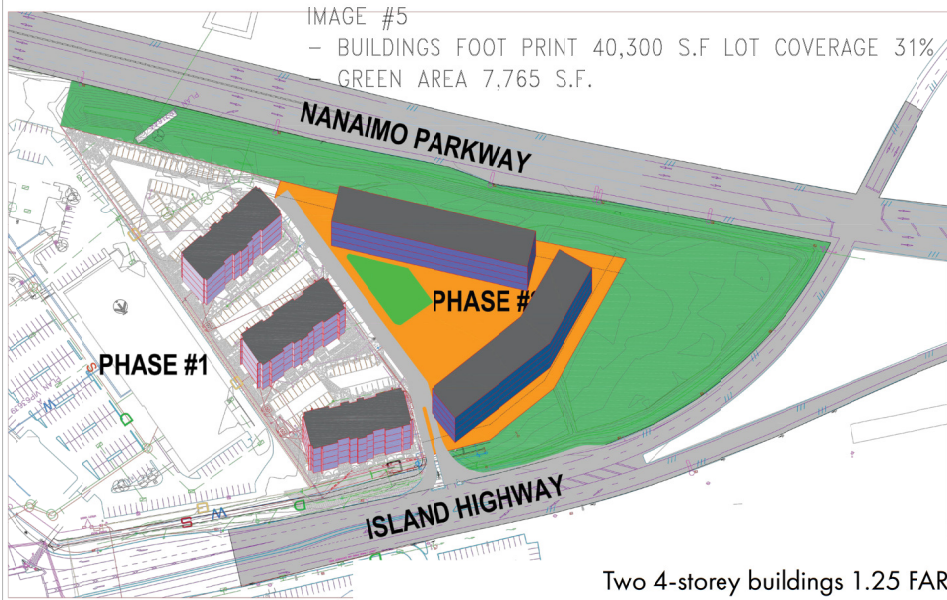
Regards,



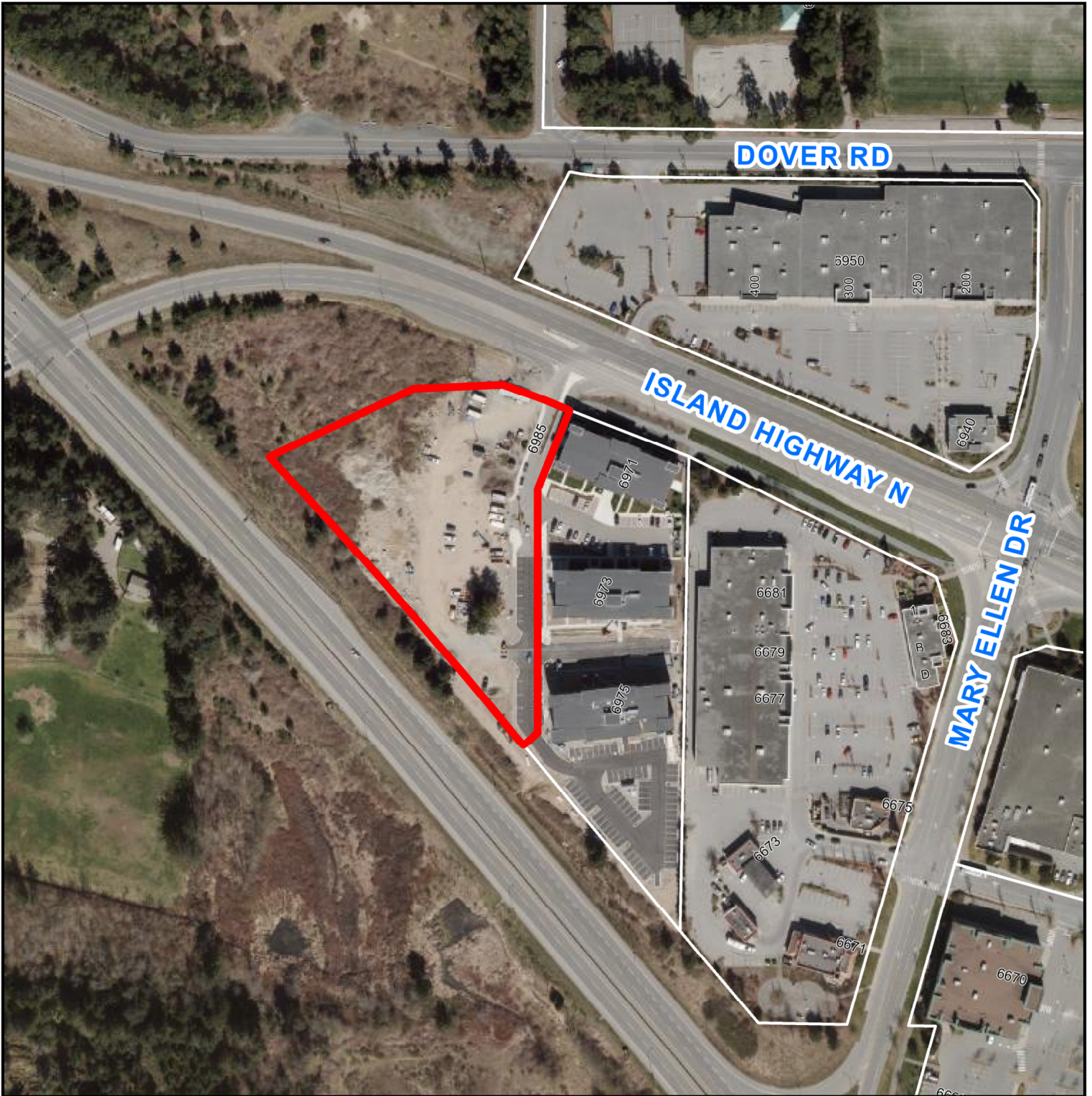
Kurtis Buick, Development Manager
District Developments Corp.

cc: Michael Nygren, President + CEO
Brandon Crema, Executive Vice President + COO


ATTACHMENT I MASSING STUDY



**ATTACHMENT J
AERIAL PHOTO**



DEVELOPMENT PERMIT APPLICATION NO. DP001248

 6985 ISLAND HIGHWAY NORTH